



**REQUEST FOR SEALED BIDS
CONSTRUCTION MANAGEMENT SERVICES**

Appendix 2:

Davidson Inspection Building Inspection Report (File #25-
1571)



Davidson Inspection
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September 13, 2025

Client(s): Kitchen for Good C/O Jennifer Gilmore

Re: 2250 4th Ave., San Diego, Ca 92101
Inspection Date: 09/12/2025
File #-25-1571 4th Ave.



INTRODUCTION

The purpose of the inspection is to assess the general condition of the property. Special attention is given to identifying deficiencies in systems and components that require immediate repair, or that need further investigation. Chips, cracks, blemishes, etc. that are cosmetic in nature are not reportable items. The Client is therefore advised to inspect and evaluate such items personally.

For additional information regarding the scope of the inspection, please refer to the **Inspection Guidelines** section of the report.

For a list of the more significant items found during the inspection, please refer to the **Summary Report**.

Thank you for choosing *Davidson Inspection*. We hope the information contained in the report is beneficial to you. If there are areas that you have questions about or would like further explanation, please don't hesitate to call us. Your satisfaction is important to us.

Sincerely,
Lonny Davidson
CREIA CCI Inspector

Enclosures: Summary Report
Inspection Report

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Subject Property:
2250 4th Ave.

The **STANDARDS OF PRACTICE** of the California Real Estate Inspection Association (CREIA) are available upon request or may be viewed at www.creia.org

SUMMARY REPORT

Deficient items or concerns affecting the use of the property were found during the course of the inspection that warrant correction and/or further evaluation. For your convenience, the more significant items are listed below in brief.

PROPERTY & INSPECTION INFORMATION

NOTATIONS / COMMENTS

1.21 General Condition:

Finish surfaces were damaged and generally in poor condition. It appeared that normal maintenance had been neglected.

1.22 Event(s):

At the time of the inspection, work was in progress on plumbing. Work has recently been performed for compliance for City of San Diego and San Diego Fire and Rescue Regulations. These fire and rescue regulations are outside the scope of the inspection. 1) Be aware that this report does not attempt to generate a punch list of items that would be expected in the completion of the work. Rather, items have been included in this report that appear to be deficiencies with the construction, that stand out needing correction or special attention, or that otherwise represent a concern. A thorough walk-through of the house and property is recommended prior to taking ownership. 2) Recommend verifying that the necessary permits have been obtained. Additionally, open permits will need to be closed by completing the work and calling for the required phase inspections. If permits were not obtained, then post-construction permits should be obtained without delay. The buyer should be aware of the ramifications of ownership concerning unpermitted work or living space.

Work has recently been performed for compliance for City of San Diego and San Diego Fire and Rescue Regulations.

GROUPS

DRAINAGE

3.4 Soil Gradient Next to Foundation:

Marginal - Paved surfaces directed surface runoff toward the foundation in various locations and paving is cracked/ damaged/ settled. Paving abutting the structure should not be pitched so that surface runoff collects against the foundation. Corrective measures recommended.

3.7 Trapped Areas:

Further Evaluation - Surface drainage was blocked / trapped at raised planters. It seems that repairs have been made to the waterproofing system inside the planters. Significant moisture intrusion was present under this area in the basement level suite. We recommend further evaluation by a qualified waterproofing/ drainage specialist to correct this condition. We also recommend a qualified moisture intrusion specialist for further evaluation at this time.

EXTERIOR RAILINGS

3.16 Guardrails:

Safety - Railing is loose/weak. Railings should be repaired / replaced for improved safety.

EXTERIOR STAIRS/STEPS

3.20 Damage:

Repair - Damage/Deterioration was noted to the metal support structure. Storm water has entered this stair well causing damage to the structure. This is the fire escape at the front of the building, so it is very important that this structure be kept in good condition in case of emergency. We recommend further evaluation and correction as needed at this time by a licensed building contractor.

3.23 Moisture Intrusion:

Repair - The waterproof coating on the stairs was cracked / peeling. This system protects the wood from moisture and needs to be maintained in good working order. We recommend further evaluation by a qualified contractor.

BUILDING EXTERIOR

BUILDING EXTERIOR

4.3 Exterior Doors:

Further Evaluation - Water stains and/or water damage was noted at the interior at various doors. There is a concern about moisture intrusion around one or more of the door/window openings. Additionally some deck doors have been caulked at the seams as if a past issue is present with the doors. Sand bags were installed near door openings indicating moisture intrusion issues. We recommend correcting the source as well as any damaged materials.

4.5 Exterior Windows:

Further Evaluation - Water stains and/or water damage was noted at the interior. There is a concern about moisture intrusion around one or more of the door/window openings. We recommend correcting the source as well as any damaged materials.

Repair - Windows had missing caulk around the top and sides of the window frame where caulking has deteriorated and cracked. Caulking is needed to prevent moisture intrusion.

4.8 Pest Activity:

Further Evaluation - There was evidence of a significant insect infestation. See Pest Inspection Report or have one performed at this time.

SIDING SYSTEM

4.16 Damage:

Repair - Siding was missing. These conditions are conducive to moisture intrusion/deterioration. We recommend correcting the condition(s) noted.

4.17 Old System:

Marginal - The component was old and likely would have limited remaining life.

4.18 Stucco Cracks:

Further Evaluation - Horizontal or vertical cracking was noted to stucco siding. This type of cracking is characteristic of moisture intrusion. Moisture entering behind the siding is often absorbed by the wood framing. The framing swells, which in turn causes the stucco siding to crack, often times along the edges of the framing. Recommend further evaluation and corrections as needed by a qualified siding contractor. Much of the stucco in this area could not be viewed up close.

4.19 Associated Concerns:

Further Evaluation - Incorrect and incomplete flashing was observed at stucco transition flashing. Cracking consistent with moisture intrusion was seen in this area. We recommend further evaluation by a qualified stucco contractor for repairs as needed. Much of the stucco in this area could not be viewed up close.

BALCONY(S)

4.28 Damage:

Repair - There were cracks in the waterproof coating that have been repaired in an unprofessional manner. This condition should be evaluated and corrected by a qualified specialty contractor at this time.

4.29 Drainage:

Further Evaluation - The exterior grade level of the deck was too high in relation to the interior finish floor and

moisture intrusion is evident. Sandbags have been placed on decks in vulnerable areas. The exterior deck surface should be a minimum of 1-1/2" below the interior finish floor to help prevent against moisture infiltration and to properly flash and seal the door threshold. Additionally an added drain was present near a door opening indicating a possible past issue with drainage near this door. A specialty contractor is recommended for further evaluation and corrections as needed.

4.30 Flashing:

Marginal - The deck surface was above the bottom edge of the siding or windows. Siding should terminate above the deck surface to drain properly and to allow for deck flashings to be installed properly. Concealed areas can not be judged to assure a water tight connection. This condition should be evaluated and corrected by a qualified specialty contractor.

4.31 Moisture Intrusion:

Further Evaluation - Water stains and/or evidence of patching was observed on the ceiling below the decks. This suggests the deck has leaked in the past. Recommend further evaluation by a qualified specialty contractor.

4.32 Moisture Intrusion :

Further Evaluation - There was evidence of water intrusion from the exterior deck to the interior along deck to wall or window seams. Patches or sealant has been added to the exterior in the past, indicating issues with the deck in these locations. This condition should be evaluated and corrected by a qualified specialty contractor.

4.33 Drainage:

Marginal - The deck drains appear to be clogged. This can lead to moisture damage unless corrected.

Marginal - A secondary drain or overflow drain was not installed on all decks except one. Secondary drains are required to prevent water damage should the primary drain(s) not function. One deck has a secondary drain that appears to be having issues and has been heavily patched. This may indicate a past leak.

FOUNDATION & STRUCTURE

BASEMENT

5.5 Moisture:

Further Evaluation - Signs of past water entry were present. The source of the moisture was not determined. This is usually an indication that drainage around the foundation needs to be corrected/improved. It is important to take action in order to prevent damage to the foundation.

FLOOR & WALL FRAMING

5.8 Moisture:

Further Evaluation - Excessive water stains noted on framing or sheathing. Moisture intrusion is also present at concrete level(s). Stains are an indication of a past or present leak, which should be investigated further. A licensed pest inspector should evaluate this condition for possible moisture damage.

ROOF COVERING

ROOF COVERING

6.5 Older Roof:

Repair - The roof covering is at end of its useful life. Signs of advanced aging were observed with the roofing material and/or paper underlayment. We recommend replacing the roof covering at this time.

6.7 Water Stains:

Further Evaluation - Water stains were noted on the interior. Water stains are an indication of water intrusion at some time. This may be an indication of an active leak, an intermittent leak, or the leak could have been repaired.

Recommend asking the seller as to the history of leaks and any subsequent roof repairs. All stains should be investigated by a roofing contractor and repaired as necessary.

6.9 Damage:

Repair - There were damaged areas to the roof covering/ cracking in various areas that can allow for water intrusion. Repairs are needed to ensure adequate weather protection.

6.10 Flat Roof Installation:

Repair - The cap sheet was not laying smooth in a few areas. Wrinkled areas were present. This will cause premature wear or damage and may obstruct drainage. Sometimes wrinkles are from moisture getting under the roofing materials. Corrections recommended.

6.11 Flat Roof Damage:

Further Evaluation - Spongy area(s). Spongy area(s) may indicate moisture damage to the sheathing. A licensed roofing contractor should be called to make further evaluation and repairs as needed.

ADDITIONAL CONCERNS

6.14 Roofing System, Additional Comments:

Further Evaluation - Because of the items noted under this section, further evaluation of the roofing system is recommended by a licensed roofing contractor.

ATTIC

ATTIC SPACE

7.5 Water Stains:

Further Evaluation - Water stains were present on the underside of the roof and deck(s) sheathing or framing as seen inside the attics. Water stains are an indication of water intrusion at some time. This may be an indication of an active leak, an intermittent leak, or the leak could have been repaired. All stains should be investigated by a roofing contractor / decking specialist and repaired as necessary. A licensed pest inspector should evaluate this condition for possible moisture damage. Stains are an indication of a past or present leak, which should also be evaluated further.

7.6 Water Stains :

Further Evaluation - Past plumbing leaks and stained framing was viewed at various drain lines. We recommend further evaluation and correction as needed at this time by a licensed plumbing contractor. A licensed pest inspector should evaluate this condition for possible moisture damage. Stains are an indication of a past or present leak, which should also be evaluated further.

GARAGE

GARAGE INTERIOR

8.2 Ventilation Type:

Further Evaluation - The air exhaust system was not on during our inspection. Recommend having the seller demonstrate that this system is functional and that the carbon dioxide sensors work to turn on the fan automatically.

8.4 Fire Separation:

Safety - Plastic piping is present in the garage. Pipes in a parking garage are required to be metal due to the possibility of fire spreading through the area, melting the pipe allowing fire to spread to other parts of the building.

PLUMBING

WATER SUPPLY SYSTEM

9.6 Water Supply Pipes:

Marginal - Corrosion was noted on an old gate valve shut-off seen in the basement level suite(s). Be aware that old corroded pipes and fittings are at a higher risk of leaking. Recommend a licensed plumbing contractor for further evaluation.

Maintenance - Loose/Unsupported water supply line(s) were observed in various locations. Additional support strap(s) are needed to prevent undo stress and potential risk for damage on the pipe or fittings.

9.7 Local Water Shutoffs & Connectors:

Repair - Corrosion was noted at older local shutoff valves and/or plumbing connections serving sinks and/or toilets. These components have a 15-20 year life expectancy. Old corroded components are at a higher risk of leaking and that valves may fail when turned closed, either leaking or not shutting off the flow of water. New components should be installed for reliable performance.

WASTEWATER SYSTEM

9.11 Wastewater Pipes :

Repair - An significant active leak, wet subfloor and wet finish materials were noted on the lower office level. The waste plumbing appears to be compromised. Recommend a licensed plumbing contractor for further evaluation and corrections as needed.

9.12 Underground Pipes:

Further Evaluation - The cast iron drain system was having drain issues/ clogs at main lines/ toilet(s). We recommend having all of the waste lines unclogged at this time. Underground and concealed drain pipes could not be judged. We recommend inspection of the waste lines by a qualified plumbing contractor using a 'snaking' video camera. We also recommend asking the owner about the history of the sewer blockage.

FIRE SPRINKLERS

9.16 Concerns:

Further Evaluation - Excessive corrosion was noted around a pipe as seen in the parking garage near the sewer ejector and various other locations in attic spaces. Stains were noted under sections of corrosion that appears to have dripped in the past. This may be an indication of a past or present leak. . Recommend a licensed plumbing contractor or fire sprinkler specialist for further evaluation and corrections as needed.

WATER HEATER

WATER HEATER - 1

10.9 Seismic Straps:

Safety - Seismic straps were not installed. Minimum requirements for water heaters are 2 approved straps at the upper and lower 1/3 of the water tank, anchored with minimum 1/4" X 3" lag bolts into the studs (or the structural equivalent where stud attachment is not an option).

WATER HEATER - 3

10.21 Seismic Straps:

Safety - Seismic straps were not installed. Minimum requirements for water heaters are 2 approved straps at the upper and lower 1/3 of the water tank, anchored with minimum 1/4" X 3" lag bolts into the studs (or the structural equivalent where stud attachment is not an option).

HEATING & COOLING

HEATING UNIT - 1

11.10 Operation:

Further Evaluation - Two of the heat pumps/ rooftop units did not operate normally. No change in heat occurred on level 1 in half of the front meeting room (unit 1E) and in the entry/ hall zone on the 1st level (no label). These may be the two old units.

11.12 Old System:

Marginal - Two of the units are older than its expected service life. Their future performance may not be reliable.

We recommend a system evaluation/service by a licensed HVAC contractor and budgeting for replacement of the systems in the near future. It seemed that the interior units on level 1 were older but this could not be determined due to paint on the units/ over the tags. We could not determine how many older units there are on level 1 at the interior. We assume at least 2 are old.

Advisory - It seems older units may be running on R-22. Beginning January 1, 2020 R-22 refrigerant will no longer be manufactured or allowed in cooling systems due to environmental issues. This will significantly add to the cost of running older systems. Upgrades recommended.

COOLING UNIT - 1

11.21 Operation:

Further Evaluation - Two of the heat pumps/ rooftop units did not operate normally. No change in heat occurred on level 1 in half of the front meeting room (unit 1E) and in the entry/ hall zone on the 1st level (no label). These may be the two old units.

11.23 Old System:

Marginal - Two of the units are older than its expected service life. Their future performance may not be reliable. We recommend a system evaluation/service by a licensed HVAC contractor and budgeting for replacement of the systems in the near future. It seemed that the interior units on level 1 were older but this could not be determined due to paint on the units/ over the tags. We could not determine how many older units there are on level 1 at the interior. We assume at least 2 are old.

Advisory - It seems older units may be running on R-22. Beginning January 1, 2020 R-22 refrigerant will no longer be manufactured or allowed in cooling systems due to environmental issues. This will significantly add to the cost of running older systems. Upgrades recommended.

11.24 Condensate Drains:

Marginal - The condensate drain pipe does not have proper slope to drain in various locations. This promotes clogging. Condensation lines are a very common place for leaks to occur in a building like this. Due to the complexity of this system, past corrections made, pumps being used and slope issues the entire condensate system should be inspected and corrected as needed.

Advisory - We did not locate where the primary condensate drains terminate. Recommend asking the owner to locate or otherwise having an hvac contractor determine if the system is draining condensation adequately.

Advisory - The primary condensate drain line relied on mechanical means (an electric pump) to dispose of condensate (water) on level 2 and level 1. This system is less reliable than a gravity system. The pump should be Inspected/tested at least yearly. Testing the pump is beyond the scope of the inspection.

ADDITIONAL CONCERNS

11.29 HVAC, Additional Comments:

Further Evaluation - Because of the items noted under this section, further evaluation of the entire system is recommended by a licensed hvac contractor. The systems were tested in the original inspection in 2023, but not re-tested on 9/12/2025. The systems have sat for 2 years which is not good for the units. We recommend having all units re-tested when further evaluation is undertaken by a qualified HVAC contractor.

ELECTRICAL

SUBPANEL - 1

12.11 Panel Housing:

Safety - The inside "dead front" cover was removed at a sub panels on the lower basement office level. We do not know why these covers were removed so we did not put them back on for safety reasons. The dead front cover is required for weather protection and for basic user safety. Wire connections could be accidentally touched when attempting to turn on/off breakers. **This is a serious safety defect that should be corrected by a licensed electrician.**

WIRING*12.20 Alterations:*

Repair - Electrical infractions were found that should be corrected with wiring that has been added since the original construction. Wiring and connections do not appear to have been installed by a licensed professional to comparable safety standards of the original system.

12.22 Conduit Problems:

Marginal - Metal conduit is old/ corroded. Corrections recommended. We recommend having wiring evaluated at rusty conduit and rusty junction boxes on the roof by a qualified electrician.

Repair - Conduit is disconnected and poorly repaired on the roof. Disconnected conduit can damage the wire. This is an important safety issue that needs correction.

LIGHTS & OUTLETS*12.29 Outlets Not Working:*

Repair - Outlet was not working on the second level (200 suite) at the electrical panel that is in the kitchen room.

12.31 Outlets Hazardous:

Safety - A possible scorch mark was observed at an outlet at the lower level office space. This an indication that an arc may have occurred. Regardless if the outlet can be determined as hazardous or not, we recommend replacing it and the coverplate due to the possibility of damaged parts and the increased likelihood of an arc reoccurrence.

Marginal - Some outlets were old and worn. Older outlets will most likely have loose contacts in the near future. Old outlets had minor damage (at ground opening) in various locations. This is a common problem with outlets that have been used frequently for many years. The condition can lead to arcing and should be considered hazardous. All old/worn outlets should be replaced.

12.32 GFCI's Not Installed:

Safety - GFCI safety device(s) were not installed at the following locations that are now required since the home was built: bathrooms, kitchens.

INTERIOR COMPONENTS**MOISTURE INTRUSION***13.1 Water Stains/Leaks:*

Further Evaluation - There were visual signs of past or present plumbing leaks (including sprinkler suppression system) found during the inspection. Leaks or evidence of leaks are described within the section of the report where the leak was found. Dishwasher on the third level was full of stinky water (sitting for long time before inspection) and was leaking underneath the unit after it was opened. Also, be aware that a prolonged leak may cause moisture damage and is conducive for mold growth. You may wish to contact a mold/moisture specialist if there is a concern of latent moisture damage or hidden mold.

Further Evaluation - Water stain(s) was noted at the interior that suggest the roof has leaked in the past. See Roofing section of the report.

Further Evaluation - Water stain(s) was noted at the interior that seems to be from grading/ drainage/ planter issues and emergency exit stairways. Further Evaluation recommended at this time.

Further Evaluation - Water stains and/or water damage was noted at the interior around door opening(s). There is a concern about moisture intrusion. The door may not have proper weather protection or flashing. We recommend correcting the source as well as any damaged materials.

Further Evaluation - Water stains and/or water damage was noted at the interior around window opening(s). There is a concern about moisture intrusion. The window may not have proper weather protection or flashing. We recommend correcting the source as well as any damaged materials.

13.8 Possible Mold:

Further Evaluation - Mold / Mildew like substance was observed at the interior of the electric room closet and at floors of the P3 level (basement suites). Identifying mold is beyond our scope and expertise. We recommend that this condition be evaluated by a qualified specialist.

Further Evaluation - A musty odor was present at the P3 level (basement suites). . While we do not know the cause of this odor, there is a concern with moisture. Recommend asking the seller regarding the history of any water or moisture problems. Also, you may wish to contact a mold/moisture specialist for further evaluation.

13.9 Subterranean Living Space:

Further Evaluation - Water stains and/or water damage was noted at the interior that appear to be associated with subterranean space. There is a concern about moisture intrusion. We recommend correcting the source as well as any damaged materials.

FINISH SURFACES*13.14 Flooring:*

Repair - Damage was noted to finish flooring and flooring was removed at the lower level.

DOORS & WINDOWS*13.18 Windows:*

Marginal - The windows were older than their expected service life. Future performance may not be reliable. Better weather protection, improved operation, and energy savings can be gained with modern dual glazed windows.

Marginal - Old aluminum framed windows showed signs of water intrusion around window frames. This is a common problem with these outdated windows. Rubber gaskets become brittle or pull out at corners, allowing moisture to intrude. Better weather protection, improved operation, and energy savings can be gained with modern dual glazed windows.

Repair - Counter balance was not working (counter balances hold the sash open) at one or more of the windows sampled. We recommend repairs as needed to prevent the sash from falling, causing damage or injury.

13.19 Glazing:

Repair - Abnormal or damaged factory tinting was observed. The tinting is on the inside of the dual glazing, and therefore can not be removed or repaired. Not all defective glazing may be readily apparent due to lighting and weather conditions, or from dust/dirt on the glazing. Further evaluation of all glazing is recommended by a window replacement contractor.

13.20 Escape & Rescue:

Safety - A door from the P1 garage to the stair well is damaged, needs replacement. This damage restricts emergency exiting.

Safety - Gates have been installed in the stair well. Nothing that limits exiting is allowed in the emergency stair well.

Safety - The emergency stairs have been used to store materials. This is not allowed, these materials need to be removed.

Safety - Emergency exits doors have slide bolts and deadbolts installed on floor p3. Locks that restrict exiting are not allowed in exit halls.

13.21 Escape & Rescue :

Safety - Emergency exit security door(s) open the wrong way impeding emergency exit. Corrections recommended.

MISCELLANEOUS FEATURES*13.24 Pest Activity:*

Further Evaluation - There was evidence of prior rodent activity in the interior (lower basement level kitchen).

Many pest inspection companies do not include inspect or report on rodent activity. Consequently, it would be advisable to consult with a 'pest or rodent control specialist' to determine the extent of the condition and its ramifications. All mechanical, electrical, insulation and any other materials that can be damaged by rodents should be evaluated for damage.

KITCHEN

KITCHEN APPLIANCES & FEATURES

14.5 Dishwasher Drain:

Repair - There appears to be a clog in the drain hose or a problem with the air gap installation. We noted moisture damage to the board under the refrigerator before we opened the dishwasher. The dishwasher was not ran. When the dishwasher was opened to check the condition of the inside, it was full of stinky water (had been sitting for a long time). After the door was opened it leaked onto the floor under the dishwasher. We assisted the building manager to clean as much as we could with paper towels from the janitor's closet and continued our inspection with the property manager finishing up the cleaning. We recommend correcting this issue and replacing all damaged materials.

Marginal - An air gap device was not installed on the dishwasher drain hose(s) above the sink(s). An air gap is required to prevent cross contamination from back siphoning in the event the sink becomes clogged. It may also help the dishwasher drain (and not leak) if the sink or disposal are clogged.

BATHROOMS

BATHROOMS GENERAL

16.6 Sink Plumbing Fixture:

Repair - Old/ Deteriorated plumbing fixtures noted in a few bathrooms. Recommend replacement.

16.7 Toilet:

Defective - The toilet did not operate, is disconnected in the restroom nearest the elevator of the 3rd floor (mixed gender bathroom). We were told that the toilet drain is clogged and needs repair. We recommend further evaluation and correction as needed at this time by a licensed plumbing contractor.

Repair - The toilets were loose at the floor in a few locations including the third floor bathroom(s). There was evidence of seepage or water stains around toilets as seen in attic spaces on various levels. Recommend pulling the toilet, checking for damage, and then installing a new wax ring and caulking around the base of the toilet for added stability. We recommend a qualified plumber reset all loose toilets.

16.8 Urinal:

Repair - Deterioration/Corrosion noted to the drain line and/or wet trap under the urinal in the 3rd level men's bathroom. A slow leak was found under urinal. The leak should be fixed as well as any damaged materials. Replacement recommended. All Urinals and toilets should be checked for this condition.

16.11 Tile/Stone Flooring and Walls :

Repair - Damage was noted to finish flooring on level P3 (basement suite) and level 1.

PROPERTY & INSPECTION INFORMATION

This report has been prepared for the benefit of the client. It is intended to report on the serviceability of the major systems and components of the property from a limited visual inspection. It should be used as a general guide to better help the client evaluate the overall condition and desirability of the property. The inspection and report does not imply that every component was inspected or that every possible defect was uncovered. Further, the inspection report is not a substitute for the required disclosures as described by California State Civil Code Section 1102. Patent defects are the responsibility of the seller to disclose.

Please read the entire report carefully. If you have questions or would like further explanation, please call DavidsonInspection at **619-435-0845**.

PROPERTY INFORMATION

- | | |
|-------------------------------|--|
| 1.1 Client(s): | Kitchen for Good C/O Jennifer Gilmore. |
| 1.2 Property Address: | 2250 4th Ave., San Diego, Ca 92101. |
| 1.3 Building Type: | Commercial. 4 stories including basement level, with 2 levels of garage(s) below basement level. |
| 1.4 Building Age: | 1985. |
| 1.5 Approximate Size: | 24785 sf. See appraisal or legal description for precise estimate of size. |
| 1.6 Utilities: | Public. Utilities were turned on. |
| 1.7 Current Occupancy: | Occupied in various units. Limited areas visible/accessible due to belongings/equipment. |

INSPECTION DETAILS

- | | |
|--------------------------------------|--|
| 1.8 Inspector: | Lonny Davidson CREIA Certified.
Bob Davidson CREIA, Master Inspector. |
| 1.9 Date of Inspection: | 09/12/2025. |
| 1.10 Time Arrived: | 9:00 am. |
| 1.11 Time Departed: | 11:00 am. |
| 1.12 Weather: | Fair, Dry. |
| 1.13 Approx. Air Temperature: | 74 degrees F. |

1.14 Present at Inspection: Buyer(s), Buyer's agent.

A verbal consultation of our findings is a part of our inspection service. When client(s) are not present, we recommend that they contact our office after reading this report for consultation in order to answer any questions about our findings.

1.15 Directions: The terms 'front,' 'rear,' 'left,' and 'right' are used in reference to the property as viewed from the street.

PERMITS**1.16 Systems Replaced/Altered:** Replacement heat pumps in various locations. Replacement water heater on the 3rd (upper) level.**1.17 Building Additions/Modifications:** Common tenant improvements were present.**1.18 Verify Permit:** Room alterations were present. Recommend verifying if the construction was permitted. The buyer should be aware of the ramifications of ownership concerning an unpermitted addition.

Permit Verification: Be aware that permit investigation is not within the scope of the inspection. We recommend checking with the local building department for permit information when room additions/modifications may be present, as well as when modifications to plumbing, electrical, and heating/cooling systems are apparent.

Repair Notes: It is recommended that a buyer obtain all relevant documentation and receipts regarding the scope of repairs performed as well as any transferable warranties.

NOTATIONS / COMMENTS**1.19 Inspection Service:** CONFIDENTIAL REPORT: This inspection report is prepared for Client and is solely and exclusively for Clients own information and may not be relied upon by any other person who may be given this report at a later date. Other persons are advised to obtain their own inspection report from an independent inspection company, or contact DavidsonInspection.com Inc. to schedule an inspection with our company. DavidsonInspection.com Inc. will not be held liable for any other use of this report than to the intended client with whom an agreement has been made.
Advisory - Our report is not a punch list, we provide a generalist report on the material items of concern. A punch list is better done by a contractor or management company who know the specific items that the client / purchaser would like to see improved taking into consideration the budget that is available.
Advisory - We do not provide "cost to cure" or "ball park" estimates for the same reasons noted above... a useful estimate requires knowledge of the clients goals, the final finished product and the clients budget. Without this specific information, the estimates are just wild guesses without focus or validity.
Advisory - A life safety evaluation was not done for this building. We recommend that this be done and this evaluation would include:
•Ingress / egress issues such as exit door hardware, door swing, door sizing.
•Path of travel to exits including measured distance to exits, size of corridors etc...
•Exit corridor fire rating including all doors and utilities that communicate with these exit paths.
Exit signage locations and type including wither the signs are lit and if so is a battery back up system present.
Advisory - Fire extinguishers or fire extinguisher dates were not inspected. We recommend having all fire extinguishers up to date at all times and appropriately

located.

Advisory - No survey was done for accessibility per the Americans with Disabilities Act (ADA), this is not part of our service. We recommend that this survey be done so that the building owner can plan for upgrades in the future.

**1.20 Excluded
Systems/Components:**

Telecommunication -phone/tv/internet/low voltage, Fire sprinklers, Security alarm.

1.21 General Condition:

Finish surfaces were damaged and generally in poor condition. It appeared that normal maintenance had been neglected.

1.22 Event(s):

At the time of the inspection, work was in progress on plumbing. Work has recently been performed for compliance for City of San Diego and San Diego Fire and Rescue Regulations. These fire and rescue regulations are outside the scope of the inspection. 1) Be aware that this report does not attempt to generate a punch list of items that would be expected in the completion of the work. Rather, items have been included in this report that appear to be deficiencies with the construction, that stand out needing correction or special attention, or that otherwise represent a concern. A thorough walk-through of the house and property is recommended prior to taking ownership. 2) Recommend verifying that the necessary permits have been obtained. Additionally, open permits will need to be closed by completing the work and calling for the required phase inspections. If permits were not obtained, then post-construction permits should be obtained without delay. The buyer should be aware of the ramifications of ownership concerning unpermitted work or living space. Work has recently been performed for compliance for City of San Diego and San Diego Fire and Rescue Regulations.

1.23 Excessive Furnishings:

Limited areas were visible/accessible due to belongings/ furnishings/ business equipment. Conditions may be present that warrant correction, which had previously been concealed from view or changed from the time of the inspection.

1.24 Older Building:

This is an older building. There are items that may have been installed per the standards at the time of construction, but are not as safe as our current standards. Within the body of the report, we may inform you that there are improvements that you could undertake to bring this building up to a safer condition.

1.25 Seller's Disclosure(s):

None provided to inspector.

HOW TO READ THIS REPORT

2.1 Basic Limitations:

The inspection does not include pool, spa, sprinklers, or septic systems, unless mentioned otherwise. Termites, dry rot and other pest activity are also beyond the scope of this report. Reporting of possible lead paint, asbestos, toxic wastes, indoor pollutants, or any type of environmental concern is outside the scope of this report. Terms and conditions crucial to the understanding of the inspection limitations and scope of our work are contained in your **Inspection Agreement** separate from this report. Additional information is also provided under the section **Inspection Guidelines** at the end of this report.

2.2 Organization & Word Definitions:

This report is organized by individual sections pertaining to specific construction systems/components. Within each section there is first a description of the components inspected followed by observations or a statement of its condition. When any item in the report is identified to be "**Functional**", the meaning is that, in the opinion of the inspector, the component is capable of being used for its intended purpose without the need for immediate repair or replacement. Some functional components may be aged or worn from time and usage. Items that appear to need attention, repair, or are beyond their expected service life are described by the inspector. The following definitions may be helpful in understanding the condition of such items. Any recommendation by the inspector suggests corrective action or further evaluation. Repair or further evaluation should be undertaken by an appropriately qualified tradesman, licensed contractor, or engineer. The client should always seek additional information until he/she is satisfied that the condition is sufficiently understood.

Advisory - A word of caution, attention, or instruction.

Monitor - Appears to be functioning in its present condition; however, there is a concern that the condition may later change, possibly necessitating corrective action.

Upgrade - Appears to be functioning as intended, but would benefit from improvement or replacement.

Maintenance - Needs regular maintenance or routine repairs.

Marginal - Has limited remaining useful life or limited performance.

Repair - Not performing as intended, requiring repair or replacement.

Defective - Did not respond when tested or responded poorly, or has missing parts, or was unable to be safely used/tested.

Safety - Poses a health or safety risk.

Further Evaluation - Due to complexity, unusual appearance, restricted access or the need to better assess the condition, further evaluation should be taken.

GROUPS

General Notes: 1) Exterior features that are inspected typically include hardscape features such as driveways, sidewalks, decks, patios, patio coverings, retaining walls, balconies, etc. as well as property line fences in close proximity to the building. 2) Cracks in concrete less than 1/8 inch are considered common cracks, often attributed to shrinkage, expansion and contraction, or minor soil movement. 3) Testing irrigations is not part of the inspection unless otherwise noted.

Grading & Drainage Notes: 1) The soil grade should be maintained at least 6 inches below the top of the foundation and any wood products. This helps to prevent moisture damage and termite infestation. 2) Directing drainage away from the foundation is extremely important. Many problems associated with the foundation are often a result of improper or poor drainage. Grading should always slope away from the foundation for good drainage. 3) Gutters & downspouts are strongly recommended for flat graded sites to help keep roof runoff away from the foundation.

Property Notes: The location of property lines, easements, and other property restrictions, and their implications to existing structures are beyond the scope of the inspection.

SITE GRADING

3.1 Associated Concerns:

Advisory- Be aware that detached features described below are noted as a courtesy only. Paving, retaining walls, fencing, detached structures including decks, coverings and auxiliary buildings are beyond the scope of our inspection. Only exterior items directly affecting or attached to the building, such as exterior grading, drainage, porches and attached structures are included as part of scope of work.

DRAINAGE

3.2 Drainage Features:

Subsurface drains were installed to assist site drainage. Subsurface drains were not tested. Recommend verifying that the underground drainage system is functional, and recommend flushing drains annually.

3.3 Soil Gradient Next to Foundation:



Marginal - Paved surfaces directed surface runoff toward the foundation in various locations and paving is cracked/ damaged/ settled. Paving abutting the structure should not be pitched so that surface runoff collects against the foundation. Corrective measures recommended.

3.4 Soil Gradient Next to Foundation :



3.5 Soil Gradient Next to Foundation :



Repair - The soil gradient sloped toward the foundation at the rear. We did not see any means for this low area to drain. The slope should fall away from the foundation to keep surface runoff from collecting at the foundation or a drainage system should carry the water away from the structure. Correcting the soil pitch is needed to improve drainage . Additionally a large pile of rocks and debris is piled up against this side of the structure. Corrective measures recommended.

3.6 Trapped Areas:

Further Evaluation - Surface drainage was blocked / trapped at raised planters. It seems that repairs have been made to the waterproofing system inside the planters. Significant moisture intrusion was present under this area in the basement level suite. We recommend further evaluation by a qualified waterproofing/ drainage specialist to correct this condition. We also recommend a qualified moisture intrusion specialist for further evaluation at this time.

3.7 Trapped Areas :

3.8 Underground Drains:

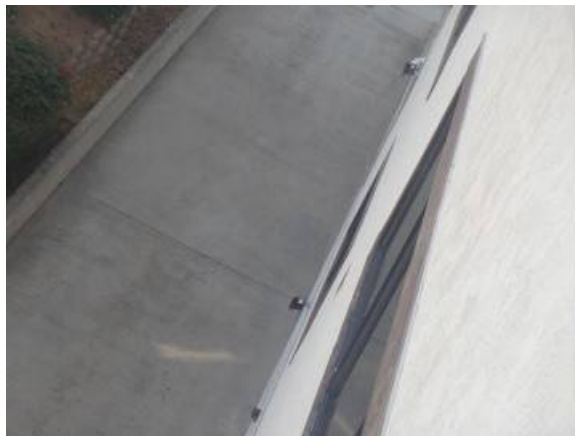


Maintenance - Drain inlets were observed to be clogged or partially clogged. Recommend lowering soil grade and/or removing debris from around problem drain inlets. Flushing out drains may also be needed.

Advisory - Site grading did not allow for surface runoff to drain off all areas of the building pad. Surface drainage was directed into drain inlets of the subsurface drainage system. Consequently, adequate site drainage was dependent on subsurface drains. It is essential that the subsurface drainage system is functional for adequate site drainage. Recommend verifying that the underground drainage system is functional, and recommend flushing drains annually.

PAVING & FLATWORK

3.9 Driveway Material:



Concrete.

3.10 Walking Surfaces Material:

Tile.

3.11 Maintenance:



Maintenance - Cracks and gaps in paving should be sealed/repaired at the driveway to stop water infiltration, which can help prevent further damage.

3.12 Damage:



Repair - Moisture damage and possible moisture intrusion noted to paving. These areas may be leaking to the basement level(s) below. Past repairs have been made in these areas along the walls. Further evaluation and repairs are recommended to halt further damage. See interior section for comments on moisture intrusion.

3.13 Damage :



3.14 Trip Hazards:

Advisory - Raised/Settled surfaces/ cracks/ damage were present at one or more location that represent a trip hazard.

EXTERIOR RAILINGS

3.15 Guardrails:



Safety - Railing is loose/weak. Railings should be repaired / replaced for improved safety.

RETAINING WALL(S)

3.16 Material/Type:



Concrete block.

Advisory- Be aware that detached features described below are noted as a courtesy only. Paving, retaining walls, fencing, detached structures including decks, coverings and auxiliary buildings are beyond the scope of our inspection. Only exterior items directly affecting or attached to the building, such as exterior grading, drainage, porches and attached structures are included as part of scope of work.

3.17 Condition:

Functional.

EXTERIOR STAIRS/STEPS

3.18 Material/Type:

Concrete, Steel.

3.19 Damage:

Repair - Damage/Deterioration was noted to the metal support structure. Storm water has entered this stair well causing damage to the structure. This is the fire escape at the front of the building, so it is very important that this structure be kept in good condition in case of emergency. We recommend further evaluation and correction as needed at this time by a licensed building contractor.

3.20 Damage :**3.21 Old System:**

Marginal - The component was old and likely would have limited remaining life.

3.22 Moisture Intrusion:

Repair - The waterproof coating on the stairs was cracked / peeling. This system protects the wood from moisture and needs to be maintained in good working order. We recommend further evaluation by a qualified contractor.

FENCES/WALLS/GATES

3.23 Gate(s):



Maintenance - Repair is needed to improve the operation of the gate to the electrical box over the meter rooms and to better keep people out of this area.

LANDSCAPING

3.24 Landscaping:

Landscaping and landscape features were not inspected. Any comments made are strictly done as a courtesy only.

BUILDING EXTERIOR

Building Exterior Notes: 1) The exterior soil grade should be maintained at least 6 inches below the top of the foundation and not in contact with wood products. This helps to prevent moisture damage and termite infestation. 2) The condition and/or presence of flashing, including window and door flashing, is hidden behind the exterior siding and cannot be judged. The inspector relies on signs of leakage at the interior to determine the fitness of this component. 3) Minor cracks in stucco finishes are to be expected and will normally not effect the integrity of stucco siding or the waterproofing system. 4) Exterior wood members are prone to damage. Regular maintenance, including painting, is needed to prevent damage. All gaps in the siding and trim should be sealed or otherwise maintained to prevent water intrusion. 5) We do not identify wood damaged by moisture and pests. Inspection by a licensed pest inspection company is needed to report on such damage and is strongly recommended.

BUILDING EXTERIOR

4.1 Exterior Wall Insulation: Presumed 3-1/2", or thickness of wall cavity, fiberglass (minimum R11) for dwellings 1973 and newer.

4.2 Soil Stability Indicator: There was no significant distress to the exterior stucco walls that was observed that would suggest there has been undue movement / settlement with the foundation or structure.

4.3 Exterior Doors:

Further Evaluation - Water stains and/or water damage was noted at the interior at various doors. There is a concern about moisture intrusion around one or more of the door/window openings. Additionally some deck doors have been caulked at the seams as if a past issue is present with the doors. Sand bags were installed near door openings indicating moisture intrusion issues. We recommend correcting the source as well as any damaged materials.

4.4 Exterior Doors :

4.5 Exterior Windows:



Further Evaluation - Water stains and/or water damage was noted at the interior. There is a concern about moisture intrusion around one or more of the door/window openings. We recommend correcting the source as well as any damaged materials.

Repair- Windows had missing caulk around the top and sides of the window frame where caulking has deteriorated and cracked. Caulking is needed to prevent moisture intrusion.

4.6 Exterior Windows :

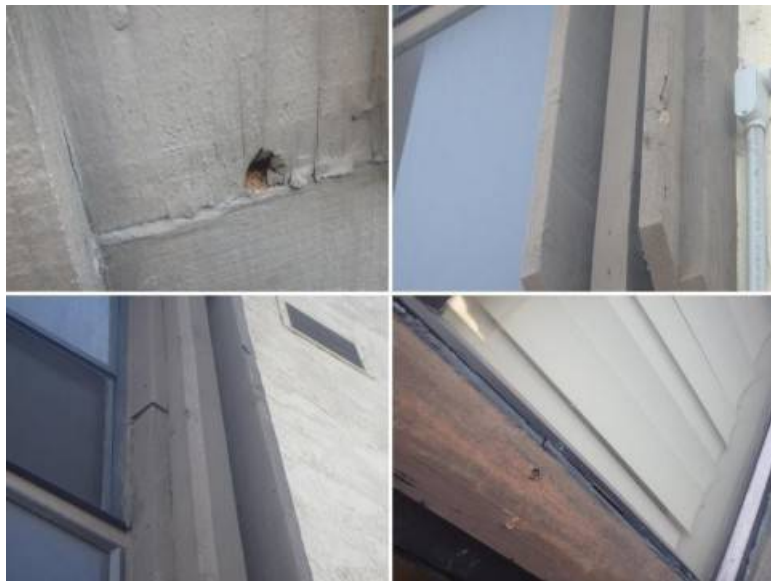


Maintenance - Caulking is needed to prevent moisture intrusion.

4.7 Exterior Windows :



4.8 Pest Activity:



Further Evaluation - There was evidence of a significant insect infestation. See Pest Inspection Report or have one performed at this time.

SIDING SYSTEM

4.9 Material/Type:

Stucco, Wood.

4.10 Life Expectancy:

The life expectancy of stucco siding, in a mild climate zone, is 50-60 years. This is based on the capability of the flashing paper behind the stucco to remain intact and repel moisture.

The life expectancy of exterior wood siding and/or trim is 30 years. Life expectancy can be extended significantly with proper maintenance.

4.11 Limited Viewing:

A zero lot line and/or restriction to the neighboring property limited our inspection. We were not able to view all sides of the building exterior.

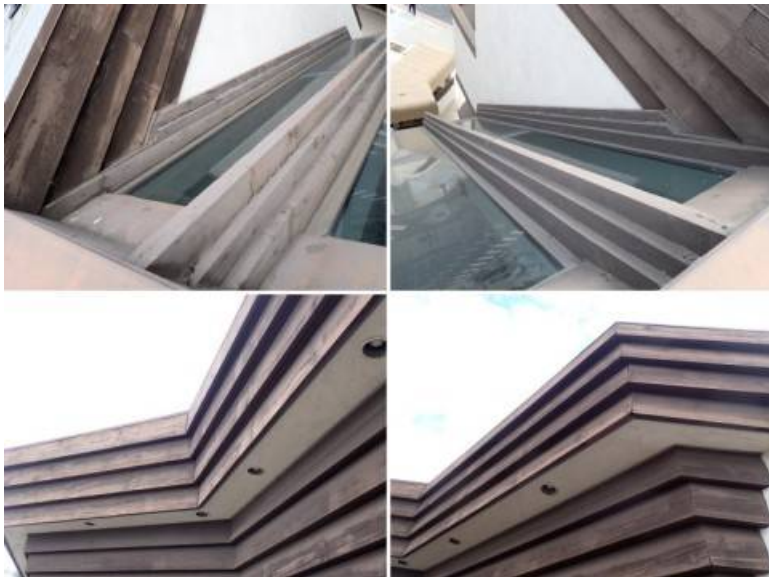
4.12 Maintenance:



Maintenance - Gaps were noted. Gaps in exterior siding or trim should be sealed/protected to help prevent water infiltration and moisture damage.

Maintenance - Faded and/or peeling paint was noted. Painting is needed at this time to preserve the condition of the exterior wood. Paint helps to protect exterior wood from weathering and dry rot.

4.13 Maintenance :



4.14 Maintenance :



4.15 Maintenance :



Maintenance - Small areas, typically at corners or bottom edge of the stucco siding, were chipped, loose or missing. Routine repairs recommended. This type of damage is typically caused by excessive moisture. The irrigation system should be checked and adjusted so that the sprinklers are not wetting the building exterior.

4.16 Damage:



Repair - Siding was missing. These conditions are conducive to moisture intrusion/deterioration. We recommend correcting the condition(s) noted.

4.17 Old System:

Marginal - The component was old and likely would have limited remaining life.

4.18 Stucco Cracks:

Further Evaluation - Horizontal or vertical cracking was noted to stucco siding. This type of cracking is characteristic of moisture intrusion. Moisture entering behind the siding is often absorbed by the wood framing. The framing swells, which in turn causes the stucco siding to crack, often times along the edges of the framing. Recommend further evaluation and corrections as needed by a qualified siding contractor. Much of the stucco in this area could not be viewed up close.

4.19 Associated Concerns:

Further Evaluation - Incorrect and incomplete flashing was observed at stucco transition flashing. Cracking consistent with moisture intrusion was seen in this area. We recommend further evaluation by a qualified stucco contractor for repairs as needed. Much of the stucco in this area could not be viewed up close.

EXTERIOR WOOD**4.20 Exterior Wood:**

Present. Siding, Fascia accents.

4.21 Maintenance:



Maintenance - Gaps were noted. Gaps in exterior siding or trim should be sealed/protected to help prevent water infiltration and moisture damage.

Maintenance - Faded and/or peeling paint was noted. Painting is needed at this time to preserve the condition of the exterior wood. Paint helps to protect exterior wood from weathering and dry rot.

4.22 Damaged Wood:

See pest inspection report or have one performed at this time.

GUTTERS & DOWNSPOUTS

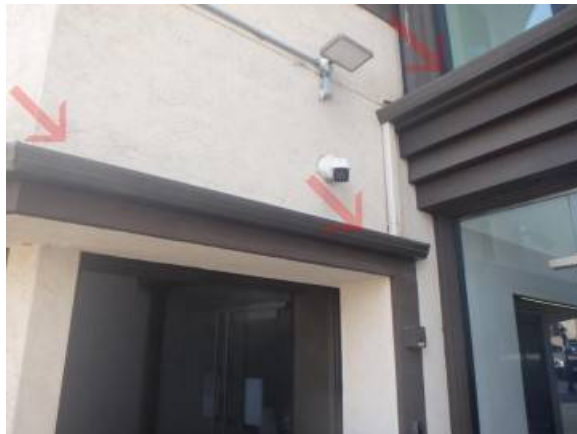
4.23 Material/Type:

Metal.

4.24 Condition:

Functional - with routine or maintenance items as noted below.

4.25 Drainage:



Maintenance - Gutters should be cleaned out and correct drainage/ slope verified at this time.

BALCONY(S)

4.26 Material/Type:

Waterproof membrane deck surface over wood framing.

4.27 Maintenance:



Marginal - Deterioration was noted to the surface coating. It is important to maintain the condition with the deck surface in order to ensure its watertight fitness. Routine maintenance or repair is needed at this time.

4.28 Damage:



Repair - There were cracks in the waterproof coating that have been repaired in an unprofessional manner. This condition should be evaluated and corrected by a qualified specialty contractor at this time.

4.29 Drainage:

Further Evaluation - The exterior grade level of the deck was too high in relation to the interior finish floor and moisture intrusion is evident. Sandbags have been placed on decks in vulnerable areas. The exterior deck surface should be a minimum of 1-1/2" below the interior finish floor to help prevent against moisture infiltration and to properly flash and seal the door threshold. Additionally an added drain was present near a door opening indicating a possible past issue with drainage near this door. A specialty contractor is recommended for further evaluation and corrections as needed.

4.30 Flashing:

Marginal - The deck surface was above the bottom edge of the siding or windows. Siding should terminate above the deck surface to drain properly and to allow for deck flashings to be installed properly. Concealed areas can not be judged to assure a water tight connection. This condition should be evaluated and corrected by a qualified specialty contractor.

4.31 Moisture Intrusion:



Further Evaluation - Water stains and/or evidence of patching was observed on the ceiling below the decks. This suggests the deck has leaked in the past. Recommend further evaluation by a qualified specialty contractor.

4.32 Moisture Intrusion :



Further Evaluation - There was evidence of water intrusion from the exterior deck to the interior along deck to wall or window seams. Patches or sealant has been added to the exterior in the past, indicating issues with the deck in these locations. This condition should be evaluated and corrected by a qualified specialty contractor.

4.33 Drainage:

Marginal - The deck drains appear to be clogged. This can lead to moisture damage unless corrected.

Marginal - A secondary drain or overflow drain was not installed on all decks except one. Secondary drains are required to prevent water damage should the primary drain(s) not function. One deck has a secondary drain that appears to be having issues and has been heavily patched. This may indicate a past leak.

Marginal - There was evidence of ponding or poor drainage. Standing water can cause damage or shorten the life of the deck waterproofing material.

4.34 Guardrails:

Maintenance - We recommend sealing the guard rail flashing cap ends to prevent moisture intrusion.

FOUNDATION & STRUCTURE

Foundation Notes: 1) Footings and floor slabs are commonly not visible for inspection. The inspection is limited to only the visible portions of the foundation system. 2) Distressed foundations will typically affect other components, such as floor slabs or floor framing, floor finishes, walls, and wall openings for doors and windows. The inspector relies on visual signs of distress from such components to determine the fitness of the foundation. 3) All concrete or masonry experiences some degree of cracking due to shrinkage and normal settlement. Cracks less than 1/8" wide are considered within normal tolerances. 4) Exterior grading should allow for surface water to drain away from the foundation. Adequate site drainage is essential for the long-term stability of the foundation. 5) Soil stability and geological hazards are beyond the scope of the inspection.

Structure Notes: 1) Structural framing is often inaccessible or hidden behind finish materials. Concealed areas are excluded from our inspection. 2) Deficiencies in the framing will typically effect other components, such as wall finishes and the operation of doors and windows. The inspector relies on visual signs of distress from such components to determine the fitness of the structural framing. 3) Inspection of the framing does not imply that the structure has the capability to withstand lateral loads from strong winds or earthquakes.

FOUNDATION

5.1 Foundation Type: Perimeter concrete footings, Slab on-grade construction.

5.2 Limited Viewing: A zero lot line and/or restriction to the neighboring property limited our inspection. We were not able to view all sides of the building exterior.

PERIMETER WALLS

5.3 Condition: Functional - The visible areas of the foundation showed no sign of unusual cracking or movement.

INTERIOR SLAB

5.4 Condition: Functional - Narrow crack(s) were observed in the floor slab. All concrete experiences some degree of cracking due to shrinkage. The cracks we observed did not appear to be unusual.

BASEMENT

5.5 Moisture: **Further Evaluation** - Signs of past water entry were present. The source of the moisture was not determined. This is usually an indication that drainage around the foundation needs to be corrected/improved. It is important to take action in order to prevent damage to the foundation.

ANCHORING / BRACING

5.6 Foundation Anchors: Not visible due to wall finishes. The 1st level structure is presumed to be bolted to the foundation based on the period of construction.

FLOOR & WALL FRAMING

5.7 Main Structure Type: Wood, steel and concrete.

5.8 Moisture:



Further Evaluation - Excessive water stains noted on framing or sheathing. Moisture intrusion is also present at concrete level(s). Stains are an indication of a past or present leak, which should be investigated further. A licensed pest inspector should evaluate this condition for possible moisture damage.

5.9 Moisture :



5.10 Moisture :

ROOF FRAMING**5.11 Type/Material:**

Prefabricated light wood/ metal trusses.

5.12 Condition:

Functional - Limited areas visible. Determining the condition of the roof framing was limited to areas that were exposed for direct inspection.

ROOF COVERING

Roofing Notes: 1) Some areas of the roof may not be visible or accessible due to height, slope, weather conditions or type of material. 2) Roof coverings are inspected for general state of repair. The inspection does not offer an opinion on whether or not the roof leaks, or will remain free of leaks. We do not verify that the materials are installed according to manufacturer's specifications. If you want to obtain a roof certification, you should consult with a licensed roofing contractor. 3) Water stains are an indication of water intrusion at some time. All stains should be investigated by a roofing contractor and repaired as necessary. 4) Nearly all roofs should be inspected and maintained periodically.

ROOF COVERING**6.1 Material/Type:**

Built-up flat roof with rolled composition cap sheet.

6.2 Age:

Appeared old, possibly the original roof.

6.3 Life Expectancy:

The life expectancy for a built-up flat roof is typically 15-20 years.

6.4 How Inspected:

Walked on.

6.5 Older Roof:



Repair - The roof covering is at end of its useful life. Signs of advanced aging were observed with the roofing material and/or paper underlayment. We recommend replacing the roof covering at this time.

6.6 Older Roof :



6.7 Water Stains:

Further Evaluation - Water stains were noted on the interior. Water stains are an indication of water intrusion at some time. This may be an indication of an active leak, an intermittent leak, or the leak could have been repaired. Recommend asking the seller as to the history of leaks and any subsequent roof repairs. All stains should be investigated by a roofing contractor and repaired as necessary.

6.8 Past Repairs:



Advisory - Repairs and/or patching were observed that may indicate the roof has leaked in the past. Recommend asking the seller as to the history of any leaks and subsequent repairs.

6.9 Damage:

Repair - There were damaged areas to the roof covering/ cracking in various areas that can allow for water intrusion. Repairs are needed to ensure adequate weather protection.

6.10 Flat Roof Installation:



Repair - The cap sheet was not laying smooth in a few areas. Wrinkled areas were present. This will cause premature wear or damage and may obstruct drainage. Sometimes wrinkles are from moisture getting under the roofing materials. Corrections recommended.

Marginal - Poor drainage or 'ponding' was observed at one or more area. Ponding promotes water infiltration and can reduce the service life of the roof.

6.11 Flat Roof Damage:

Further Evaluation - Spongy area(s). Spongy area(s) may indicate moisture damage to the sheathing. A licensed roofing contractor should be called to make further evaluation and repairs as needed.

VISIBLE FLASHING

6.12 Visible Flashings: Metal.

6.13 Condition: Functional - Roof flashings appeared to be properly integrated with the roof covering and were serviceable condition.

ADDITIONAL CONCERNS

6.14 Roofing System, Additional Comments: **Further Evaluation** - Because of the items noted under this section, further evaluation of the roofing system is recommended by a licensed roofing contractor.

ATTIC

Attic Notes: 1) Often times, the inspector will not climb into the attic space. The inspector is not expected to risk injury or property damage to perform the inspection when there is no clear path or safe walkway. 2) Attic spaces should be ventilated to dissipate moisture and heat buildup beyond normal levels. 3) A minimum of 6" (R-19) for attic insulation is recommended. Thicker attic insulation is usually desirable.

ATTIC SPACE

7.1 Access: Through acoustic ceiling tiles.

7.2 Viewing: Limited areas were visible and accessible.

7.3 Roof Sheathing Type: Plywood.

7.4 Pest Activity: See pest inspection report or have one performed.

7.5 Water Stains:



Further Evaluation - Water stains were present on the underside of the roof and deck(s) sheathing or framing as seen inside the attics. Water stains are an indication of water intrusion at some time. This may be an indication of an active leak, an intermittent leak, or the leak could have been repaired. All stains should be investigated by a roofing contractor / decking specialist and repaired as necessary. A

licensed pest inspector should evaluate this condition for possible moisture damage. Stains are an indication of a past or present leak, which should also be evaluated further.

7.6 Water Stains :

Further Evaluation - Past plumbing leaks and stained framing was viewed at various drain lines. We recommend further evaluation and correction as needed at this time by a licensed plumbing contractor. A licensed pest inspector should evaluate this condition for possible moisture damage. Stains are an indication of a past or present leak, which should also be evaluated further.

ATTIC INSULATION

7.7 Material/Thickness: Fiberglass batts.

7.8 Energy Loss: **Maintenance** - Insulation was missing, moved out of place, or piled up in various location. Insulation at these areas was not effective.
Upgrade - Attic insulation was thin by today's standards. Suggest upgrading the insulation in the attic.

ATTIC VENTILATION

7.9 Condition: N/A.

GARAGE

Garage Notes: 1) Automatic door openers can cause serious injury and even death when safety reverse devices are not installed or not operating properly. 2) Garage doors installed since 1993 are required to be equipped with both pressure sensing and motion sensing safety reverse devices. Any auto door opener not equipped with both types of safety reverses should be retrofitted or replaced. 3) The testing and operation of door opener remotes and exterior keypads are excluded from our inspection. 4) Fire rated assemblies are outside the scope of this inspection. We do not evaluate fire rated walls, only confirm that a separation wall is present.

8.1 Type:



Underground parking structure.

GARAGE INTERIOR

8.2 Ventilation Type:



Further Evaluation - The air exhaust system was not on during our inspection. Recommend having the seller demonstrate that this system is functional and that the carbon dioxide sensors work to turn on the fan automatically.

8.3 Moisture Concerns:



Marginal - The garage is not draining correctly/ areas pond/ or are not sloped correctly. Corrections are recommended for a correctly draining underground parking area/ to prevent flooding.

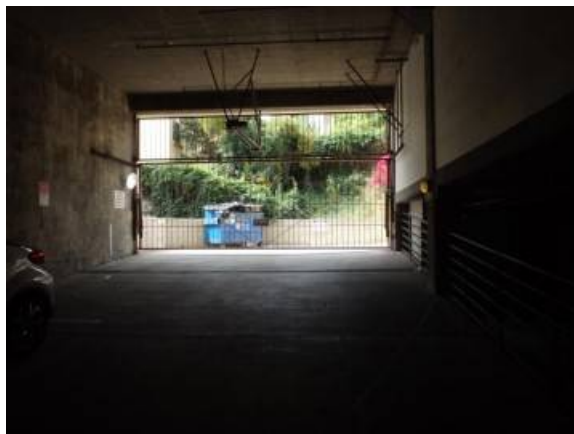
8.4 Fire Separation:



Safety - Plastic piping is present in the garage. Pipes in a parking garage are required to be metal due to the possibility of fire spreading through the area, melting the pipe allowing fire to spread to other parts of the building.

GARAGE DOOR(S)

8.5 Type:



Tilt-up type.

8.6 Automatic Door Opener(s):

Installed.

8.7 Condition: Functional - The door was observed to operate normally with cars entering and exiting the parking structure.

**GARAGE- FOUNDATION,
SLAB & FRAMING**

8.8 Condition: Functional - Narrow cracks noted in the floor slab. The cracks we observed did not appear to be unusual.

PLUMBING

General Plumbing Notes: 1) Inspection of the plumbing systems includes gas, water, waste, and vent piping. We test plumbing fixtures for normal use with user controls, and report on leaks, corrosion, and abnormal function. 2) Plumbing concealed behind walls or underground is excluded from inspection. 3) Fire suppression systems are not part of the inspection.

Water Supply Plumbing Notes: 1) All accessible plumbing fixtures are checked for normal water flow. 2) Between 40 psi - 80 psi is considered the normal range for water pressure. To maintain water pressure within this range, an operable pressure regulator may be needed. 2) The inspector does not test local supply line shutoff valves. These valves, if turned, may be subject to leaking. 3) Inspecting soft water systems and testing for water quality is beyond the scope of the inspection.

Wastewater Plumbing Notes: 1) Underground waste pipes can be observed for breaks or root intrusion by means of a video scan by others if desired. 2) Inspection of private septic systems is beyond scope of the inspection.

Gas Plumbing Notes: 1) The condition of propane or fuel storage tanks is not part of the inspection. Recommend the utility company or the fuel supplier that is currently providing service inspect the storage tank and main supply line. 2) Gas leak detection is not part of this inspection.

WATER SUPPLY SYSTEM

9.1 Piping Material: Copper pipes, Limited areas visible.

9.2 Life Expectancy: The life expectancy of copper plumbing is 60-90 years, though intermediate repairs may be necessary much sooner. The life expectancy of local water shutoff valves and/or plumbing connections serving sinks and/or toilets is 15-20 years.

9.3 Water Main & Shutoff: Located, meter box.

9.4 Water Pressure: 75 psi. A pressure regulator was installed.

9.5 Condition: Functional - with routine repairs or maintenance items as noted below.

9.6 Water Supply Pipes:

Marginal - Corrosion was noted on an old gate valve shut-off seen in the basement level suite(s). Be aware that old corroded pipes and fittings are at a higher risk of leaking. Recommend a licensed plumbing contractor for further evaluation.

Maintenance - Loose/Unsupported water supply line(s) were observed in various locations. Additional support strap(s) are needed to prevent undue stress and potential risk for damage on the pipe or fittings.

9.7 Local Water Shutoffs & Connectors:

Repair - Corrosion was noted at older local shutoff valves and/or plumbing connections serving sinks and/or toilets. These components have a 15-20 year life expectancy. Old corroded components are at a higher risk of leaking and that valves may fail when turned closed, either leaking or not shutting off the flow of water. New components should be installed for reliable performance.

9.8 Associated Concerns:

Upgrade - We recommend adding a water purifier/ softener to protect the water pipes from hard water. San Diego has very hard water.

WASTEWATER SYSTEM**9.9 Piping Material:**

Both ABS plastic and cast iron drain pipes were present. Limited areas visible.

9.10 Life Expectancy:

The life expectancy of ABS plastic waste piping exceeds the life of the structure. The life expectancy of cast iron waste piping is approximately 60 years, though intermediate repairs may be necessary much sooner.

9.11 Wastewater Pipes :

Repair - An significant active leak, wet subfloor and wet finish materials were noted on the lower office level. The waste plumbing appears to be compromised. Recommend a licensed plumbing contractor for further evaluation and corrections as needed.

9.12 Underground Pipes:

Further Evaluation - The cast iron drain system was having drain issues/ clogs at main lines/ toilet(s). We recommend having all of the waste lines unclogged at this time. Underground and concealed drain pipes could not be judged. We recommend inspection of the waste lines by a qualified plumbing contractor using a 'snaking' video camera. We also recommend asking the owner about the history of the sewer blockage.

9.13 Wastewater Ejector:

Advisory - A sewer waste ejector is present. We do not inspect or evaluate sewage ejectors. We only run water until the system turns on to verify that it operates. You should obtain maintenance records from the owner along with any history of repairs. Annual cleaning and inspection of sump pump systems is recommended prior to the rainy season as well as monitoring during rainy periods. Lastly, we recommend further evaluation by a licensed plumbing contractor to determine with certainty that maintenance is current and the pump is in good working order.

Further Evaluation - Alarm was not visible/present for the sump pump. It is required to be in place to alert you if the main pump fails so that you can get a plumber to fix it. Installation is required when the sump is the main sewer for the whole floor or

building.

GAS SUPPLY SYSTEM

9.14 Gas Supply System: Not applicable.

FIRE SPRINKLERS

9.15 Fire Sprinklers: Not installed.

9.16 Concerns:



Further Evaluation - Excessive corrosion was noted around a pipe as seen in the parking garage near the sewer ejector and various other locations in attic spaces. Stains were noted under sections of corrosion that appears to have dripped in the past. This may be an indication of a past or present leak. . Recommend a licensed plumbing contractor or fire sprinkler specialist for further evaluation and corrections as needed.

9.17 Concerns :



WATER HEATER

Water Heater Notes: 1) The Temperature Pressure Relief (TPR) valve is not tested because the TPR valve is prone to leaking once activated. 2) Solar heating systems and recirculation pumps are not part of the inspection.

WATER HEATING SYSTEM

10.1 Type: Electric.

10.2 Life Expectancy: The average life of a domestic electric water heater is approximately 15 years.

WATER HEATER - 1

10.3 Location:



2nd floor men's room.

10.4 Capacity: 50 gallons.

10.5 Age: 2014.

10.6 Condition: The system heated and delivered hot water. However, deficiencies or concerns were noted with the system, its appearance or its installation. See notations below.

10.7 Operation: **Advisory** - The water heater was turned off at the time of the inspection. Operation of the water heater and proper orientation of the hot/cold fixtures was not determined. Recommend testing the water operation prior to taking possession of the property.

10.8 Plumbing Connections: **Maintenance** - There is no insulation on the water pipes to the heater. Insulation is now required on all hot water pipes in the building and the cold water pipe to within 5 feet of the water heater. This helps reduce heat loss from the water tank saving energy and money.

10.9 Seismic Straps: **Safety** - Seismic straps were not installed. Minimum requirements for water heaters are 2 approved straps at the upper and lower 1/3 of the water tank, anchored with minimum 1/4" X 3" lag bolts into the studs (or the structural equivalent where stud attachment is not an option).

10.10 Associated Concerns:



Repair - The circulation pump has mineral deposits that indicate that it leaks. We recommend further evaluation and correction as needed at this time by a licensed plumbing contractor.

WATER HEATER - 2

- 10.11 Location:** 1st floor.
- 10.12 Capacity:** 40 gallons.
- 10.13 Age:** Appeared newer.
- 10.14 Operation:** **Advisory** - The water heater was turned off at the time of the inspection. Operation of the water heater and proper orientation of the hot/cold fixtures was not determined. Recommend testing the water operation prior to taking possession of the property.

WATER HEATER - 3

10.15 Location:



3rd floor janitor's closet.

- 10.16 Capacity:** 40 gallons.
- 10.17 Age:** 2013.
- 10.18 Operation:** **Advisory** - The water heater was turned off at the time of the inspection. Operation of the water heater and proper orientation of the hot/cold fixtures was not determined. Recommend testing the water operation prior to taking possession of the property.

10.19 Plumbing Connections:



Maintenance - Minor corrosion at shut-off can be evaluated when the water heater is being strapped.

10.20 Pan & Drain:



Maintenance - We do not know where this pan drain terminates. We recommend having a plumber verify it is draining correctly.

10.21 Seismic Straps:

Safety - Seismic straps were not installed. Minimum requirements for water heaters are 2 approved straps at the upper and lower 1/3 of the water tank, anchored with minimum 1/4" X 3" lag bolts into the studs (or the structural equivalent where stud attachment is not an option).

HEATING & COOLING

Heating & Cooling Notes: 1) The heating/cooling system is turned on as part of the inspection unless otherwise noted. 2) A visual inspection can not adequately evaluate the heat exchanger for cracks and holes. Most areas of the heat exchanger are not visible without dismantling the furnace. Evaluation of the heat exchanger is expressly excluded. 3) Evaluating the adequacy, efficiency, or even distribution of air throughout the home/building is not part of the inspection. 4) Thermostats are not checked for calibration or programmable features.

HEATING SYSTEM

- 11.1 Type:** Electric heat pump, Forced air.
- 11.2 Life Expectancy:** The life expectancy of an electric heat pump / air conditioner is 15-20 years.
- 11.3 Service Requirements:** Routine service of electric heat pumps is recommended every other year. Routine service is important for the efficient operation of the appliance. Replacing return air filters is recommended annually.

HEATING UNIT - 1**11.4 Location (Zone):**

Interior ceiling soffit in various locations on each floor. Roof. There are 24 units / zones.

Many units were labeled on level 3 (3A, 3B, 3C, 3E,3F), some on level 2 (2A, 2B,2D, 2E, 2F, one no label) and some on level 1 (1E,1F) . Labels should be added to all areas of the system. Many labels were missing.

- 11.5 Limited Inspection:** Painted over data tags on level 1 limited our inspection.
- 11.6 Capacity:** 24,000 BTU's (2 tons), 30,000 BTU's (2-1/2 tons), 36,000 BTU's (3 tons) and 48,000 BTU's (4 tons)
- 11.7 Age:** Most of the units were manufactured in 2015 or 2016. Two of the units were much older.
- 11.8 Life Expectancy:** The life expectancy of an electric heat pump / air conditioner is 15-20 years.
- 11.9 Filter Location:** Located inside the furnace.
- 11.10 Operation:** **Further Evaluation** - Two of the heat pumps/ rooftop units did not operate normally. No change in heat occurred on level 1 in half of the front meeting room (unit 1E) and in the entry/ hall zone on the 1st level (no label). These may be the two old units.

- 11.11 Service/Maintenance:** **Maintenance** - A complete service and further evaluation is recommended at this time by a qualified HVAC service contractor.
- Maintenance** - Many units had no labels. We recommend labeling all units similar to the way they were labeled on level 3.

11.12 Old System:



- Marginal** - Two of the units are older than its expected service life. Their future performance may not be reliable. We recommend a system evaluation/service by a licensed HVAC contractor and budgeting for replacement of the systems in the near future. It seemed that the interior units on level 1 were older but this could not be determined due to paint on the units/ over the tags. We could not determine how many older units there are on level 1 at the interior. We assume at least 2 are old.
- Advisory** - It seems older units may be running on R-22. Beginning January 1, 2020 R-22 refrigerant will no longer be manufactured or allowed in cooling systems due to environmental issues. This will significantly add to the cost of running older systems. Upgrades recommended.

11.13 Housing:



- Marginal** -Screws are loose and housing(s) are disconnected at a few units on level 1.

11.14 Filter(s):



- Maintenance** - Missing filter(s) noted in various locations.
- Maintenance** - Poorly fitted filter(s) were noted. Suggest replacing the filter(s).

COOLING SYSTEM

- 11.15 Type:** Central air conditioning. Reverse Heat Pump. Installed at each zone. Interior ceiling soffit in various locations on each floor. Roof. There are 24 units / zones.
- 11.16 Life Expectancy:** The life expectancy of this type of central air conditioning system under normal usage is 15 to 20 years.

COOLING UNIT - 1

- 11.17 Location (Zone):** Interior ceiling soffit in various locations on each floor. Roof. There are 24 units / zones.
- 11.18 Capacity:** 24,000 BTU's (2 tons), 30,000 BTU's (2-1/2 tons), 36,000 BTU's (3 tons) and 48,000 BTU's (4 tons)
- 11.19 Age:** Most of the units were manufactured in 2015 or 2016. At least two of the units inside were much older and two units on the roof were much older.
- 11.20 A/C Tempt. Drop:** +15 degrees F at most units. Satisfactory.
- 11.21 Operation:** **Further Evaluation** - Two of the heat pumps/ rooftop units did not operate normally. No change in heat occurred on level 1 in half of the front meeting room (unit 1E) and in the entry/ hall zone on the 1st level (no label). These may be the two old units.
- 11.22 Service/Maintenance:** **Maintenance** - A complete service and further evaluation is recommended at this time by a qualified HVAC service contractor.
Maintenance - Many units had no labels. We recommend labeling all units similar to the way they were labeled on level 3.
- 11.23 Old System:** **Marginal** - Two of the units are older than its expected service life. Their future performance may not be reliable. We recommend a system evaluation/service by a licensed HVAC contractor and budgeting for replacement of the systems in the near future. It seemed that the interior units on level 1 were older but this could not be determined due to paint on the units/ over the tags. We could not determine how many older units there are on level 1 at the interior. We assume at least 2 are old.
Advisory - It seems older units may be running on R-22. Beginning January 1, 2020 R-22 refrigerant will no longer be manufactured or allowed in cooling systems due to environmental issues. This will significantly add to the cost of running older systems. Upgrades recommended.
- 11.24 Condensate Drains:** **Marginal** - The condensate drain pipe does not have proper slope to drain in various locations. This promotes clogging. Condensation lines are a very common place for leaks to occur in a building like this. Due to the complexity of this system, past corrections made, pumps being used and slope issues the entire condensate system should be inspected and corrected as needed.
Advisory - We did not locate where the primary condensate drains terminate. Recommend asking the owner to locate or otherwise having an hvac contractor determine if the system is draining condensation adequately.
Advisory - The primary condensate drain line relied on mechanical means (an electric pump) to dispose of condensate (water) on level 2 and level 1. This system is less reliable than a gravity system. The pump should be Inspected/tested at least yearly. Testing the pump is beyond the scope of the inspection.

AIR DUCTS / DISTRIBUTION

- 11.25 Air Distribution:** Insulated ducts connected to room registers.
- 11.26 Condition:** Functional - with routine or maintenance items as noted below.
- 11.27 Old Ducting:** **Marginal** - The furnace / air conditioning mechanical units have been replaced. However, the old ducting is still in use in various locations (mostly 3rd level). Normally this is not done because old ducting does not meet new energy standards. Recommend checking with the owner to see if there are receipts from the contractor that indicate whether or not new standards were met.
- 11.28 Distribution:** **Maintenance** - Ducting/ registers or connections of the two were loose or disconnected. Maintenance is needed to prevent energy loss.

ADDITIONAL CONCERNS

- 11.29 HVAC, Additional Comments:** **Further Evaluation** - Because of the items noted under this section, further evaluation of the entire system is recommended by a licensed hvac contractor. The systems were tested in the original inspection in 2023, but not re-tested on 9/12/2025. The systems have sat for 2 years which is not good for the units. We recommend having all units re-tested when further evaluation is undertaken by a qualified HVAC contractor.

ELECTRICAL

Electrical Notes: 1) We remove dead front covers from electrical panels to inspect the wiring inside the panels when it is safe to do so and when this will not interrupt occupants. 2) We inspect for unsafe wiring conditions and operate a fair sampling of accessible outlets and light switches. Furnishing will often prevent testing of some outlets. 3) Landscape lights, lights on timers or sensors, security systems, TV, phone, speaker systems, and other low voltage wiring are not part of the inspection. 4) GFCI is a safety device used for outlets located near water to protect against a serious electrical shock. 5) Aluminum conductors require periodic maintenance.

Electrical Repair Notes: All electrical infractions should be considered a safety concern and should be corrected. Electrical repairs should be undertaken by a licensed electrician.

ELECTRIC SERVICE

- 12.1 Service Type:** 3 Phase, 120/240 Volt. Underground.
- 12.2 Condition:** Functional -

ELECTRIC PANEL(S)

- 12.3 Overload Protection:** Circuit breakers. The reliable service life of circuit breakers is 40-50 years.
- 12.4 Main Panel:** Located at the exterior left. Capacity - 2,000 Amp. Original panel. 120 Volt and 240 Volt branch circuits were installed.
- 12.5 Subpanel -1:** Located on each floor.

MAIN PANELS

12.6 Condition:



Functional.

SUBPANEL - 1

12.7 Location:



Various locations on each level.

12.8 Location :



12.9 Condition:

Functional - with routine or maintenance items as noted below.

12.10 Panel Access:

Advisory - Several of the panels are not available for inspection. The panel cover has been painted or caulked in place. We could not remove the cover without damaging the wall. Wire connections inside the panel were not inspected. Inspection by us or a licensed electrician is recommended once the panel is accessible. An additional charge will be applied for us to return to inspect this component.

12.11 Panel Housing:



Safety - The inside "dead front" cover was removed at a sub panels on the lower basement office level. We do not know why these covers were removed so we did not put them back on for safety reasons. The dead front cover is required for weather protection and for basic user safety. Wire connections could be accidentally touched when attempting to turn on/off breakers. **This is a serious safety defect that should be corrected by a licensed electrician.**

12.12 Labeling:

Maintenance - Not all branch circuits were labeled or legibly labeled. All circuits should be labeled so that any one circuit can be quickly turned off in an emergency.

GROUNDING

- 12.13 Building Ground:** Not found.
- 12.14 Water Pipe Bond/Ground:** Not found.
- 12.15 Circuit Grounding:** Grounded outlets were installed throughout.
- 12.16 Condition:** Functional - with routine or maintenance items as noted below.
- 12.17 Building Ground:** **Advisory** - The building ground (termination point and device) was not found. The building ground is required be accessible. We recommend having an electrician locate and inspect its condition.
- 12.18 Bonding:** **Advisory** - Bonding to the water piping system was not found. A bonding jumper is required be accessible. It is needed to prevent potential stray current/voltage on the metal plumbing components. We recommend having an electrician locate and inspect its condition.

WIRING

- 12.19 Type:** Copper conductors on all branch circuits. The life expectancy of copper wiring is for the life of the structure.
- 12.20 Alterations:** **Repair** - Electrical infractions were found that should be corrected with wiring that has been added since the original construction. Wiring and connections do not appear to have been installed by a licensed professional to comparable safety standards of the original system.
- 12.21 Wiring Infractions:**



Maintenance - Unsecured wiring is present. Loose wiring can be accidentally pulled or disconnected.

12.22 Conduit Problems:

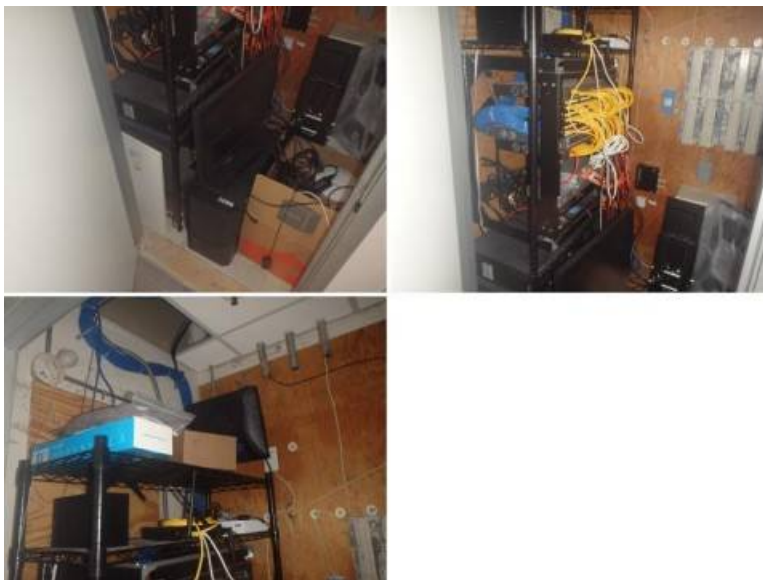


Marginal- Metal conduit is old/ corroded. Corrections recommended. We recommend having wiring evaluated at rusty conduit and rusty junction boxes on the roof by a qualified electrician.

Repair - Conduit is disconnected and poorly repaired on the roof. Disconnected conduit can damage the wire. This is an important safety issue that needs correction.

12.23 Attic:



12.24 Crawlspace:

Marginal - AV/ Vow voltage room on the 3rd Floor is very warm inside from equipment running. Room is congested with electronics. We recommend adding louvered doors to this room for ventilation or adding a 'mini split' cooling system to protect the equipment.

LIGHTS & OUTLETS**12.25 Limited Testing:**

Limited outlets were accessible due to furnishings in many locations.

12.26 GFCI Protection:

The current electrical code requires GFCI protection for outlets next to surfaces that may be wet. These locations include the exterior, garages, bathrooms, kitchen, laundry sinks, & wet bars.

12.27 GFCI Observed Locations:

A few bathrooms, Some kitchen outlets.

12.28 Lights Not Working:

Advisory - Exterior 'house' lights/ bulbs were not verified. We recommend having a qualified electrician evaluate the exterior lighting when other electrical repairs are being made.

12.29 Outlets Not Working:

Repair - Outlet was not working on the second level (200 suite) at the electrical panel that is in the kitchen room.

12.30 Outlets Damaged, Missing or Missing Parts:

Maintenance - Missing or damaged coverplate(s) were noted in many locations. Most of the uncovered outlets were on level P3 (basement suite). Cracked or damaged faceplates were in various locations. This is considered a shock hazard and fire risk. Covers should be installed on all open services.

12.31 Outlets Hazardous:

Safety - A possible scorch mark was observed at an outlet at the lower level office space. This an indication that an arc may have occurred. Regardless if the outlet can be determined as hazardous or not, we recommend replacing it and the coverplate due to the possibility of damaged parts and the increased likelihood of an arc reoccurrence.

Marginal - Some outlets were old and worn. Older outlets will most likely have loose contacts in the near future. Old outlets had minor damage (at ground opening) in various locations. This is a common problem with outlets that have been used frequently for many years. The condition can lead to arcing and should be considered hazardous. All old/worn outlets should be replaced.

12.32 GFCI's Not Installed: **Safety** - GFCI safety device(s) were not installed at the following locations that are now required since the home was built: bathrooms, kitchens.

ALARMS

12.33 Smoke Alarm Not installed.
Location(s):

12.34 CO Alarm Location(s): Not installed.

INTERIOR COMPONENTS

Interior Notes: 1) Small cracks in drywall or plaster are typically attributed to wood shrinkage or settlement. Minor cracks should be expected and will normally not effect the integrity of the structure. 2) As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. 3) We do not operate or evaluate window/door treatments. Blinds and shutters are not inspected. 4) Double pane glazing is checked for "fogging". Lighting and weather conditions, as well as dust/dirt on glazing, may prevent detection of fogged glazing. 5) Occupants' furnishings may restrict viewing of interior components and may prevent the testing of some windows. 5) Testing central vacuum systems is not part of the inspection unless otherwise noted.

Water Intrusion Notes: 1) The interior space is inspected for evidence of water intrusion and leaks, however recent paint may conceal visual signs of moisture. Finish surfaces are tested for elevated levels of moisture only when there is visual evidence to suggest that moisture may be present. 2) All stains should be investigated until the client is satisfied that the condition is sufficiently understood. 3) Where there are concerns regarding water leaks or infiltration, we recommend that a qualified industrial hygienist evaluate for mold, fungus, or other microbial material.

MOISTURE INTRUSION

13.1 Water Stains/Leaks:



Further Evaluation - There were visual signs of past or present plumbing leaks (including sprinkler suppression system) found during the inspection. Leaks or evidence of leaks are described within the section of the report where the leak was found. Dishwasher on the third level was full of stinky water (sitting for long time before inspection) and was leaking underneath the unit after it was opened. Also, be aware that a prolonged leak may cause moisture damage and is conducive for mold growth. You may wish to contact a mold/moisture specialist if there is a concern of latent moisture damage or hidden mold.

Further Evaluation - Water stain(s) was noted at the interior that suggest the roof has leaked in the past. See Roofing section of the report.

Further Evaluation - Water stain(s) was noted at the interior that seems to be from grading/ drainage/ planter issues and emergency exit stairways. Further Evaluation recommended at this time.

Further Evaluation - Water stains and/or water damage was noted at the interior around door opening(s). There is a concern about moisture intrusion. The door may not have proper weather protection or flashing. We recommend correcting the source

as well as any damaged materials.

Further Evaluation - Water stains and/or water damage was noted at the interior around window opening(s). There is a concern about moisture intrusion. The window may not have proper weather protection or flashing. We recommend correcting the source as well as any damaged materials.

13.2 Water Stains/Leaks :



13.3 Water Stains/Leaks :



13.4 Water Stains/Leaks :



13.5 Water Stains/Leaks :



13.6 Water Stains/Leaks :



13.7 Water Stains/Leaks :



13.8 Possible Mold:



Further Evaluation - Mold / Mildew like substance was observed at the interior of the electric room closet and at floors of the P3 level (basement suites). Identifying mold is beyond our scope and expertise. We recommend that this condition be evaluated by a qualified specialist.

Further Evaluation - A musty odor was present at the P3 level (basement suites). . While we do not know the cause of this odor, there is a concern with moisture. Recommend asking the seller regarding the history of any water or moisture problems. Also, you may wish to contact a mold/moisture specialist for further evaluation.

13.9 Subterranean Living Space:

Further Evaluation - Water stains and/or water damage was noted at the interior that appear to be associated with subterranean space. There is a concern about moisture intrusion. We recommend correcting the source as well as any damaged materials.

FINISH SURFACES

- 13.10 Wear & Tear:** Finish surfaces are not inspected for cosmetic conditions or normal wear and tear.
- 13.11 Limited Viewing:** Limited areas were visible/accessible due to belongings/ equipment/ furnishings and locked offices.
- 13.12 Distress Symptoms:** There was no significant distress observed to interior finish surfaces, such as unusual cracks or out-of-level floors, that would suggest there has been undue movement / settlement with the foundation or structure.
- 13.13 Damage:** **Maintenance** - Normal wall or finish trim holes/ dings/ dents were noted in various locations.
- 13.14 Flooring:** **Repair** - Damage was noted to finish flooring and flooring was removed at the lower level.
- 13.15 Tile/Stone Flooring:** **Maintenance** - There is missing / loose grout in the tiles in various locations. Re-grouting of these areas is recommended to keep debris out of these openings. If this condition persists there may be a problem with the sub-straight / base material and further evaluation is recommended.

DOORS & WINDOWS

- 13.16 Sampling:** A sampling of windows and doors are tested for normal operation and general state of repair.
- 13.17 Glazing:** Double pane glass. Glazing was very dirty. Detection of fogged glazing was hindered.
- 13.18 Windows:** **Marginal** - The windows were older than their expected service life. Future performance may not be reliable. Better weather protection, improved operation, and energy savings can be gained with modern dual glazed windows.

Marginal - Old aluminum framed windows showed signs of water intrusion around window frames. This is a common problem with these outdated windows. Rubber gaskets become brittle or pull out at corners, allowing moisture to intrude. Better weather protection, improved operation, and energy savings can be gained with modern dual glazed windows.

Repair - Counter balance was not working (counter balances hold the sash open) at one or more of the windows sampled. We recommend repairs as needed to prevent the sash from falling, causing damage or injury.

13.19 Glazing:

Repair - Abnormal or damaged factory tinting was observed. The tinting is on the inside of the dual glazing, and therefore can not be removed or repaired. Not all defective glazing may be readily apparent due to lighting and weather conditions, or from dust/dirt on the glazing. Further evaluation of all glazing is recommended by a window replacement contractor.

13.20 Escape & Rescue:

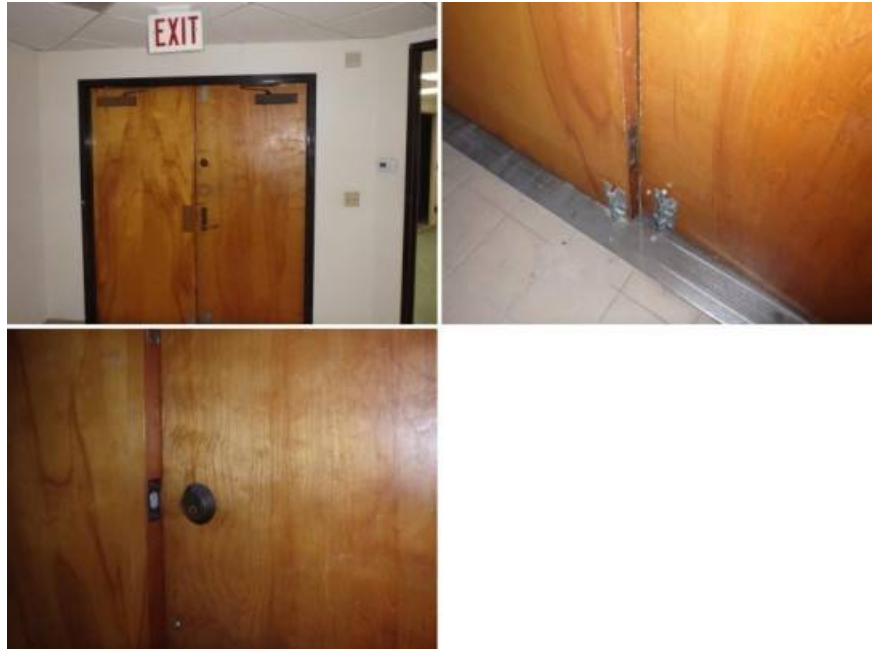


Safety - A door from the P1 garage to the stair well is damaged, needs replacement. This damage restricts emergency exiting.



Safety - Gates have been installed in the stair well. Nothing that limits exiting is allowed in the emergency stair well.

Safety - The emergency stairs have been used to store materials. This is not allowed, these materials need to be removed.



Safety - Emergency exits doors have slide bolts and deadbolts installed on floor p3. Locks that restrict exiting are not allowed in exit halls.

13.21 Escape & Rescue :



Safety - Emergency exit security door(s) open the wrong way impeding emergency exit. Corrections recommended.

STAIRS / RAILINGS

13.22 Condition:

Functional - with routine or maintenance items as noted below.

13.23 Guardrails:

Safety - Wide openings in railings were present. This should be considered an injury hazard. The current requirement is for openings to be no wider than 4".

Safety - The railings are horizontal creating a climbable condition. While this allowed by current standards, this could be a hazard for small children. You may wish to consider taking precautions such as covering with plexiglass to prevent climbing.

**MISCELLANEOUS
FEATURES****13.24 Pest Activity:**

Further Evaluation - There was evidence of prior rodent activity in the interior (lower basement level kitchen). Many pest inspection companies do not include inspect or report on rodent activity. Consequently, it would be advisable to consult with a 'pest or rodent control specialist' to determine the extent of the condition and its ramifications. All mechanical, electrical, insulation and any other materials that can be damaged by rodents should be evaluated for damage.

KITCHEN

Kitchen Notes: 1) Plumbing fixtures are checked for leaks and normal operation. 2) Permanently installed appliances are tested for normal operation. Inspection of built-in appliances is limited. It does not include dismantling and inspection of internal parts. 3) Microwave ovens are tested for heating function only. Testing for uniform heating, leakage, and various settings is not part of our inspection. 4) The inspection does not include testing refrigerators and portable appliances, the self-cleaning operation of ovens, clocks, timers, thermostats, etc., and the effectiveness of built-in appliances. 5) Water softening and filtering devices are beyond the scope of the inspection.

**KITCHEN APPLIANCES &
FEATURES**

14.1 Finish Surfaces:

Kitchen areas present on the 3rd floor, 2nd floor and 1st floor.
Countertop and cabinet finish surfaces had average wear.

14.2 Appliance Service Life: The life expectancy of major kitchen appliances ranges between 11-19 years.

14.3 Disposal: **Repair**- The garbage disposal is jammed in the 3rd level kitchen. The unit makes a humming noise, but the blades are frozen. Recommend repair/replacement.

14.4 Sink Drain Plumbing: **Maintenance** - The drain was slow/clogged on the garbage disposal side (GD does not function). Corrective action recommended.

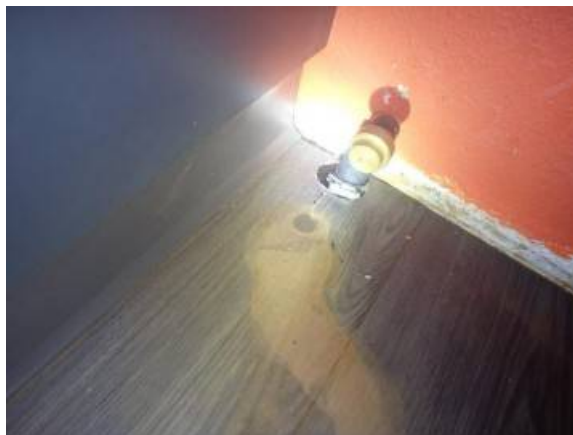
14.5 Dishwasher Drain:

Repair - There appears to be a clog in the drain hose or a problem with the air gap installation. We noted moisture damage to the board under the refrigerator before we opened the dishwasher. The dishwasher was not ran. When the dishwasher was opened to check the condition of the inside, it was full of stinky water (had been sitting for a long time). After the door was opened it leaked onto the floor under the dishwasher. We assisted the building manager to clean as much as we could with paper towels from the janitor's closet and continued our inspection with the property manager

finishing up the cleaning. We recommend correcting this issue and replacing all damaged materials.

Marginal - An air gap device was not installed on the dishwasher drain hose(s) above the sink(s). An air gap is required to prevent cross contamination from back siphoning in the event the sink becomes clogged. It may also help the dishwasher drain (and not leak) if the sink or disposal are clogged.

14.6 Dishwasher Drain :



Marginal - What appears to be a dishwasher drain was seen on level 2 in suite 200. We did not see where it attaches to the drain under the sink. It is important to attach this drain to an air gap and to the drain system before the trap under the sink to prevent clogging and to prevent sewer gases from entering the dishwasher/ kitchen. If this is a dishwasher drain, corrections are recommended. Additionally some past leaking evidence was noted. We recommend replacing any damaged materials and correcting the source of the leak.

BATHROOMS

Bathroom Notes: 1) Plumbing fixtures are checked for leaks and normal operation. 2) It is very important to maintain all grouting and caulking in the bathroom. Minor imperfections can allow water to penetrate into the walls and floors, which overtime can result in significant water damage. Ongoing maintenance is essential. 3) Determining whether shower pans are watertight is beyond the scope of the inspection.

BATHROOMS

16.1 Bathroom(s):

At least one bathroom on each level.

16.2 Finish Surfaces:



Countertop and cabinet finish surfaces had heavy wear in bathrooms on level 1 and P3 (basement suite).

16.3



Countertop and cabinet finish surfaces had average wear in various other bathrooms.

16.4 Toilet(s):

The toilet(s) were marked as low flush or otherwise appeared to use 1.6 gallons per flush or less.

BATHROOMS GENERAL

16.5 Countertops:

Marginal - The counter is cracked / damaged in some locations near/ around counters.

Maintenance - Grout or caulking is missing in some areas.

16.6 Sink Plumbing Fixture:



Repair - Old/ Deteriorated plumbing fixtures noted in a few bathrooms. Recommend replacement.

16.7 Toilet:

Defective - The toilet did not operate, is disconnected in the restroom nearest the elevator of the 3rd floor (mixed gender bathroom). We were told that the toilet drain is clogged and needs repair. We recommend further evaluation and correction as needed at this time by a licensed plumbing contractor.

Repair - The toilets were loose at the floor in a few locations including the third floor bathroom(s). There was evidence of seepage or water stains around toilets as seen in attic spaces on various levels. Recommend pulling the toilet, checking for damage, and then installing a new wax ring and caulking around the base of the toilet for added stability. We recommend a qualified plumber reset all loose toilets.

16.8 Urinal:



Repair - Deterioration/Corrosion noted to the drain line and/or wet trap under the urinal in the 3rd level men's bathroom. A slow leak was found under urinal. The leak should be fixed as well as any damaged materials. Replacement recommended. All Urinals and toilets should be checked for this condition.

16.9 Miscellaneous:



Maintenance - Bathroom dividers were loose or missing in various locations.

16.10 Tile/Stone Flooring:

Maintenance - Cracked or broken tiles present in many locations. The edge of these tiles can be sharp, these tiles should be checked for this condition.

Maintenance - Cracked/Chipped floor tile(s) noted.

Maintenance - Grout is missing in some areas.

16.11 Tile/Stone Flooring and Walls : **Repair** - Damage was noted to finish flooring on level P3 (basement suite) and level 1.

CLOSING REMARKS

17.1 Re-inspection:

For an additional fee **DavidsonInspection** can re-inspect reported items after repairs are made. The fee for a return trip or re-inspection is shown on your inspection agreement.

Thank you for choosing DavidsonInspection. We appreciate the opportunity to be of service and hope that the information presented in this report is beneficial to you. Your satisfaction is important to us and we welcome your feedback.

17.2 Energy Saving Resources:

The state of California requires the inspection report to include contact information for energy savings. This information is provided below.

UTILITY BILL, REBATES AND OTHER ASSISTANCE

Online Consumer and Business Conservation Rebate Database: www.consumerenergycenter.org.

California Department of Consumer Affairs: www.dca.ca.gov/energy-challenge.htm.

California Energy Commission, for information on utility bill assistance programs: **800-772-3300** or www.consumerenergycenter.org.

California Public Utilities Commission Consumer Affairs Branch, for information on baseline and other optional rates and bill assistance programs: **800-649-7570** or www.cpuc.ca.gov.

Local Utility Company: SDG&E **800-411-7343**

California Energy Alternative Rates (CARE): Call your local utility company for information and applications.

17.3 Energy Upgrades:

The following table shows popular energy upgrades that you may want to consider. Pay back periods have been adjusted for Southern California's mild climate. Pay back periods for energy upgrades would be shorter for colder regions of the country with the exception of a photovoltaic (solar electric) system. Upgrades are based on the average cost or cost range for a 1,800 sf single family home.

POPULAR ENERGY UPGRADES

Energy Upgrade	Average Cost	Savings (per yr.)	Pay Back Period (yrs.)
Sealing gaps and adding weather-stripping	\$20 - \$200	\$10 - \$50	2 - 4
Photovoltaic System	\$18K - \$28K (with Fed & St rebates)	\$1,000 - \$2,000	12 -18
Attic Insulation- none existing (homes predating 1960)	\$800 - \$1,500	\$200 - \$300	4 - 5
Thin Attic Insulation (homes predating 1980)	\$800 - \$1,500	\$100 - \$200	7 - 10
Wall insulation- none existing (homes predating 1960)	\$2,500 - \$4,000	\$150 - \$250	15 - 20
Whole House Fan- alternative to air conditioning	\$600 - \$1,200	\$80 - \$200 (equivalent electric cooling)	6 -8
Replacement Dual Glazed Windows	\$5,000 - \$10,000	\$200 - \$300	+25

INSPECTION GUIDELINES

This report is intended only as a general guide to better help the client make his/her own evaluation of the overall condition of the property. The inspection is essentially a performance inspection. The major systems and components of the property are examined for function, excessive or unusual wear, and general state of repair. Wear and tear (such as chips, cracks, blemishes, etc.) on interior finishes (such as walls, countertops, flooring, etc.) is considered a cosmetic condition and is not reported. The client is advised to inspect and evaluate such items personally.

Report findings are the opinions of the inspector based on observations of readily accessible systems and components of the property as they appeared at the time of the inspection. The inspector is not required to move personal items, furniture, equipment, etc. that obstructs access or visibility. We are not responsible for components or areas that are not accessible for inspection. If the inspector is unable to access a component or area and this is later corrected, please contact our office for scheduling a re-inspection. An additional fee may apply.

The report does not imply that every component is inspected or that every possible defect is discovered. No representation is made about hidden or latent deficiencies that may be present at the time of the inspection. No guarantees or other representations are made about the future conditions or performance of systems and components. A home warranty policy can be purchased from a home warranty company to insure the future operation of home systems and appliances.

Specific code references are not cited within the inspection report. The purpose of the inspection is not to determine code compliance, rather it is to see if systems and components are installed properly and are performing as they were intended.

Repair or further evaluation of any item identified from the inspection should be done before the close of escrow. Repairs are often found to be more involved and costly once the work is undertaken to correct the condition. Estimates for repairs are not provided as part of the inspection. Determining the cost of repair should be left to the appropriate tradesman or specialist.

Additionally, the client is advised to personally conduct a thorough visual walk-through of the property after the seller/occupant has vacated the property and before the close of escrow. Conditions may be present that warrant correction, which had previously been concealed from view or changed from the time of the inspection.

Any type of environmental problem, such as the presence of asbestos, lead paint, soil contamination, water quality, indoor air quality, mold growth, etc., is beyond the scope of the inspection. Laboratory testing is normally required to identify a toxic substance. If such an evaluation is desired, then the appropriate specialist should be consulted.

If signs of a past or present water leak are identified from the inspection, including any type of water intrusion problem, then a specialist should be hired to test for elevated levels of mold and moisture.

The inspection does not report on the presence or absence of pests, such as wood destroying organisms, rodents, or insects. Exterior wood members such as siding, trim, decks, etc. are particularly prone to damage from pests and decay. A pest inspection is strongly recommended.

Structural, architectural, geological, hydrological, land surveying and soils related examinations are beyond the scope of the inspection. Determination of property lines, easements and setback requirements are beyond the scope of the inspection.

Verifying the existence or absence of building permits is not within the scope of the inspection. Additionally, determining the legal use of the building or property is not part of the inspection. Information regarding both building permits and legal use may be obtained from the local building, planning, and/or zoning departments.

The information in this report is intended for the sole use of the client. Any other use of this report is strictly prohibited. DavidsonInspection will not be held liable to any third parties. For additional terms and limitations, please refer to your Inspection Agreement.